



# Inspection Report

**John Donut**

**Property Address:**  
1 New Home  
Heaven on earth NY 11111



**New Home Inspectors LLC**

**John Zeoli 16000068866**

A handwritten signature in black ink, appearing to be "JZ", located below the printed name and phone number.

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<b>Date:</b> 9/4/2015	<b>Time:</b> 12:00 AM	<b>Report ID:</b>
<b>Property:</b> 1 New Home Heaven on earth NY 11111	<b>Customer:</b> John Donut	<b>Real Estate Professional:</b>

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Standards of Practice:**

New York State

**In Attendance:**

Customer and both agents

**Type of building:**

Multi structure

**Approximate age of building:**

1915

**Temperature:**

45

**Weather:**

Cloudy

**Bedrooms:**

6

**Bathrooms:**

4

## General Summary

**P.O. Box 586  
East Northport, N.Y. 11731  
Cell 631.626.4768**

**Customer**  
John Donut

**Address**  
1 New Home  
Heaven on earth NY 11111

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

### 1. Driveways, Steps and Walks

#### 1.0 Driveway condition

##### Repair or Replace

(1) There are cracks in the driveway that should be filled to prevent deterioration to the driveway. Water entering the cracks will lead to deterioration and repairing the cracks now will prevent further damage.



1.0 Item 1(Picture) There are cracks in the driveway that should be filled to prevent deterioration to the driveway.

(2) The concrete driveway apron on the guest house is in a deteriorated state with broken concrete. Contacting a qualified mason to replace the driveway should be considered.



1.0 Item 2(Picture) The concrete driveway apron on the guest house is in a deteriorated state with broken concrete.

**1.1 Walkway condition**

**Repair or Replace**

Guest House

The north steps are deteriorated and missing a handrail installing one is recommended



1.1 Item 1(Picture) The north steps are deteriorated and missing a handrail

**1.2 Condition of steps**

**Repair or Replace**

Cottage

Missing railing on the front porch. Installing one for safety sake is recommended,



1.2 Item 1(Picture) Missing railing on the front porch

### 1.3 Retaining Walls

#### Repair or Replace

(1) Guest House

1. Retaining walls are deteriorated on the south side of the house
2. The wood retaining wall is rotted to the left of the deck

Having a qualified contractor evaluate and repair as needed is recommended,



1.3 Item 1(Picture) Retaining walls are deteriorated



1.3 Item 2(Picture) Offset cracks in the retaining wall



1.3 Item 3(Picture) The wood retaining wall is rotted to the left of the deck

(2) Cottage

The retaining wall to the east side is deteriorated. Having a qualified contractor evaluate and repair as needed is recommended,



1.3 Item 4(Picture) The retaining wall to the east side is deteriorated

(3) Main house

1. The retaining walls on the north side are deteriorated



1.3 Item 5(Picture) The retaining walls on the north side are deteriorated

## 2. Roofing

### 2.0 Roof Coverings

#### Repair or Replace

The inspector noticed 2 layers of roofing on the guest house and the main house. Adding another layer of roofing is not allowed.

There are some tared repairs to the roof that are deteriorated and need to be evaluated and corrected by a qualified roofer.



2.0 Item 1(Picture) There are some tared repairs to the roof that are deteriorated

## 2.2 Flashings

### Repair or Replace

Main house

The flashing on the upper west wall is installed incorrectly. Having a qualified contractor evaluate and repair as needed is recommended,



2.2 Item 1(Picture) The flashing on the upper west wall is installed incorrectly.

## 2.4 Roof Drainage Systems

### Repair or Replace

The gutter leaders are depositing water at the base of the foundation on all the houses. Water at the base of the foundation can penetrate the structure and cause water damage. Gutter leaders should extend 6 feet away from the structure.



2.4 Item 1(Picture) The gutter leaders are depositing water at the base of the foundation on all the houses.

## 2.5 Moss and Algae

### Repair or Replace

The inspector noticed moss/lichen growth on the roof and black algae streaks. Lichen can cause mineral loss on the roof shingles. The growth can be cleaned off by a qualified professional.



2.5 Item 1(Picture) The inspector noticed moss/lichen growth on the roof and black algae streaks

## 3. Exterior



### 3.0 Siding and Trim

#### Repair or Replace

(1) Guest House

1. There is deteriorated trim scattered around the house.
2. The lower level apartment door is un-professionally installed
3. The garage doors need repair
4. There is no glass present in the attic window
5. Deteriorated trim on the south east corner of the house

Having a qualified contractor evaluate and repair as needed is recommended,



3.0 Item 1(Picture) There is deteriorated trim scattered around the house



3.0 Item 2(Picture) The lower level apartment door is un-professionally installed



3.0 Item 3(Picture) The garage doors need repair



3.0 Item 4(Picture) There is no glass present in the attic window

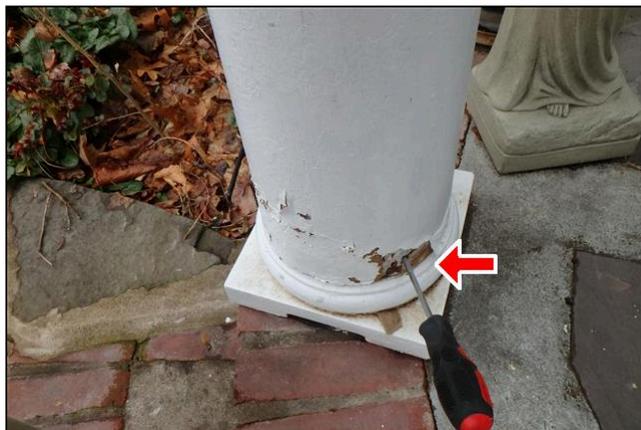


3.0 Item 5(Picture) Deteriorated trim on the south east corner of the house

(2) Main House

1. The columns by the front entrance are deteriorated at the base
2. The front entry door trim is rotted at the base
3. There are opening in the plywood in the basement window allowing infestation
4. There is scattered trim rotted around the house
5. The column on the north deck is rotted

Having a qualified contractor evaluate and repair as needed is recommended,



3.0 Item 6(Picture) The columns by the front entrance are deteriorated at the base



3.0 Item 7(Picture) The front entry door trim is rotted at the base



3.0 Item 8(Picture) There are opening in the plywood in the basement window allowing infestation



3.0 Item 9(Picture) There is scattered trim rotted around the house



3.0 Item 10(Picture) The column on the north deck is rotted

### 3.1 Eaves, Soffits and Fascias

**Repair or Replace**  
Cottage

The inspector noticed a lack of soffit vents around the house. Installing soffit vents is recommended to help increase attic ventilation and increase roof life.



3.1 Item 1(Picture) The inspector noticed a lack of soffit vents around the house.

**3.2 Exterior Caulking**

**Repair or Replace**

The exterior caulking is showing signs of deterioration. Consideration of repairing the caulking in the near future is recommended.

**3.3 Doors (Exterior)**

**Repair or Replace**

Main House

The inspector noticed a cracked door jamb on the west roof door and the rear den door is taped shut requiring repair by a qualified carpenter.



3.3 Item 1(Picture) The inspector noticed a cracked door jamb on the west roof door



3.3 Item 2(Picture) the rear den door is taped shut

**3.5 Windows**

**Repair or Replace**

(1) Guest House

The inspector noticed broken window sash cords scattered around. This prevents the window from staying up. Having a qualified contractor evaluate and repair as needed is recommended,



3.5 Item 1(Picture) The inspector noticed broken window sash cords scattered around.

(2) Studio Apartment

1. The north facing windows are covered in plastic indicating defective weather stripping.
2. The casement window on the west side will not lock

Having a qualified contractor evaluate and repair as needed.



3.5 Item 2(Picture) The casement window on the west side will not lock

(3) Main House

1. The windows in the upper north bedroom would not open
2. The inspector noticed broken window seals scattered throughout the house. This milky condition can only be repaired by replacing the window glass or window itself. Contacting a qualified glazier is recommended.
3. There is an active leak in the bathroom windows on the 1st floor facing north

Having a qualified contractor evaluate and repair as needed.



3.5 Item 3(Picture) The windows in the upper north bedroom would not open



3.5 Item 4(Picture) The inspector noticed broken window seals scattered throughout the house



3.5 Item 5(Picture) There is an active leak in the bathroom windows on the 1st floor facing north

### 3.6 Window Wells

#### Repair or Replace

Installing window wells on the guest house to create the 6 inch soil clearance is recommended. This will help prevent water infiltration and insect damage.



3.6 Item 1(Picture) Installing window wells on the guest house to create the 6 inch soil clearance is recommended.

### 3.7 Vegetation and Earth to Siding Contact

#### Repair or Replace

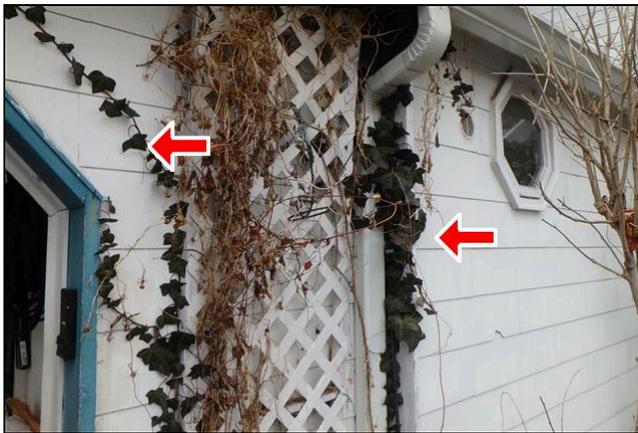
(1) The vegetation is too close to the structures. There should be no vegetation within 12 inches of the house. The tree limbs should be 6 feet away from the structure. Making the necessary corrections is recommended.



3.7 Item 1(Picture) The vegetation is too close to the structure.



3.7 Item 2(Picture) Vegetation too close to the cottage



3.7 Item 3(Picture) Vegetation on the main house

(2) It is recommended that the soil be 6 inches below the siding to prevent damage to the structure and inspect infestation. There should be no earth to wood contact. Creating a 6 inch clearance is recommended.



3.7 Item 4(Picture) It is recommended that the soil be 6 inches below the siding to prevent damage to the structure and inspect infestation on the cottage and main house

**3.8 Grading**

**Repair or Replace**

The grading around the perimeter is not the recommended 6 feet away. Creating soil grading pitching away 6 feet from the house is recommended to prevent water damage to the structures.

**3.9 Evidence of Animals****Repair or Replace**

There are rodent bait stations around the property. Questioning the owner as to the status is recommended,

**4. Decks, Patio and Porches****4.0 Deck surface****Repair or Replace**

The inspector noticed that some of the boards have checked (cracked) in some areas. It is recommended to replace these boards to prevent splintering.

**4.1 Porch Surface****Repair or Replace**

Main House

There are buckling and rotted deck boards on the front porch. Replacing the boards is recommended



4.1 Item 1(Picture) There are buckling and rotted deck boards on the front porch

**4.2 Steps and railings****Repair or Replace**

Main House

1. The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard. This is a child safety hazard.
2. The stairs on the pool are deteriorated and missing a railing
3. Missing railing on the north west corner of the deck
4. The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard on the east side stairs

Contacting a qualified carpenter to evaluate and repair the railing is recommended.



4.2 Item 1(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard.



4.2 Item 2(Picture) The stairs on the pool are deteriorated and missing a railing



4.2 Item 3(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard.



4.2 Item 4(Picture) Missing railing on the north west corner of the deck



4.2 Item 5(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard on the east side stairs

**4.3 Deck / Porch structure**

**Repair or Replace**

Main house

1. The porch is not properly supported and requires further evaluation.
2. The pool deck has no footings and is improperly supported
3. The girder on the pool deck is separating at the seam due to lack of support

- 4. Some deck support posts are not making contract with the ground
- 5. Many boards are deteriorated on the porch

Having a qualified contractor evaluate and repair as needed is recommended,



4.3 Item 1(Picture) The porch is not properly supported and requires further evaluation



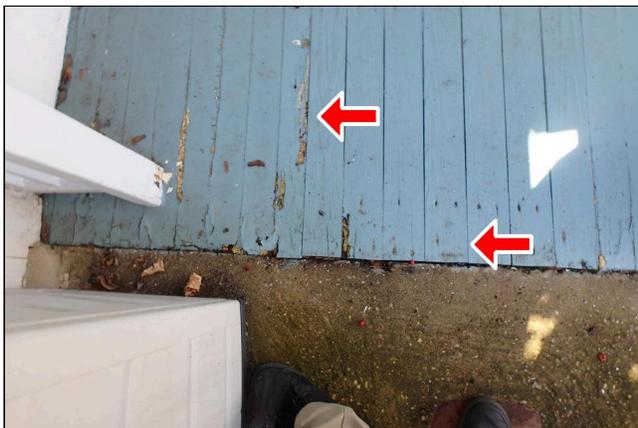
4.3 Item 2(Picture) The pool deck has no footings and is improperly supported



4.3 Item 3(Picture) The girder on the pool deck is separating at the seam due to lack of support



4.3 Item 4(Picture) Some deck support posts are not making contract with the ground



4.3 Item 5(Picture) Many boards are deteriorated on the porch

**5. Garage**

**5.0 Garage Ceilings and Walls**

**Repair or Replace**

(1) Guest House

The garage in the guest house is missing fire retardant sheet rock in sections in the garage. Replacing the missing sheet rock with 5/8 fire retardant sheet rock is recommended.



5.0 Item 1(Picture) The garage in the guest house is missing fire retardant sheet rock in sections in the garage

(2) Main House

The installation of wood attic stairs is a breach in the fire rock. There are stairs that have a fire rating. Consideration to replacing the stairs with the proper stairs is recommended.

There are holes in the sheetrock in the garage.

Having a qualified contractor evaluate and repair as needed is recommended,



5.0 Item 2(Picture) The installation of wood attic stairs is a breach in the fire rock



5.0 Item 3(Picture) There are holes in the sheetrock in the garage

**5.2 Garage Door (s)**

**Repair or Replace**

The inspector noticed rot on the door jamb on base of the garage door. Contacting a qualified handy person the repair the door jamb is recommended.



5.2 Item 1(Picture) The inspector noticed rot on the door jamb on base of the garage door.

### 5.3 Garage Door Operators (Report whether or not doors will reverse when met with resistance)

#### Repair or Replace

Main House

The garage door opener was operational but does not have safety beams. It is recommended to upgrade the opener to a newer model for safety sake.



5.3 Item 1(Picture) The garage door opener was operational but does not have safety beams

### 5.4 Occupant Door (from garage to inside of home)

#### Repair or Replace

Main House

The occupant door from inside garage to inside the home is not a fire rated door. This means that should a fire occur in garage, the occupant door does not afford protection until fireman arrive. This door should be replaced with a steel fire door, steel jamb 1.5 hour rated fire door self closing hinges.

## 6. Utilities

### 6.0 Fuel Storage and Distribution Systems

#### Repair or Replace

Main House

The inspector noticed signs of a buried oil tank and recommends obtaining a abandonment certificate. All abandoned in the ground oil tanks are required to be abandoned by a licensed contractor. Questioning the owner as to the status of the tank and certificate is recommended.



6.0 Item 1(Picture) The inspector noticed signs of a buried oil tank and recommends obtaining a abandonment certificate

### 6.3 Gas pipe material

#### Repair or Replace

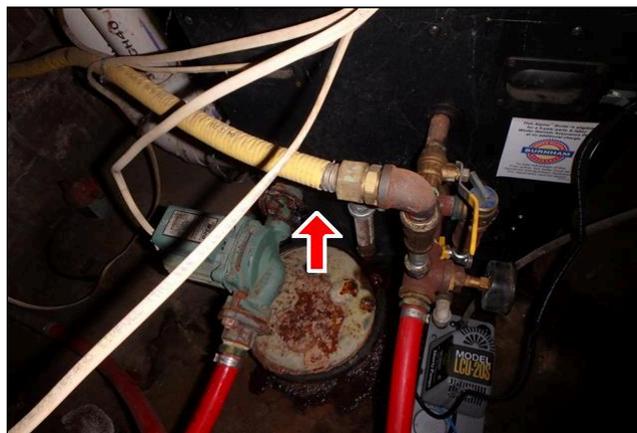
Main House

There is an open gas line on the east side of the exterior missing a cap. Capping it for safety sake is recommended,

The inspector noticed the presence of corrugated stainless steel tubing (CSST) used for gas service on the boiler. This product has had some problems with leaking after remote lightning strikes in the area. The manufacturer recommends that the gas service be bonded (grounded) for safety sake. Contacting a qualified electrician is recommended.



6.3 Item 1(Picture) There is an open gas line on the east side of the exterior missing a cap



6.3 Item 2(Picture) The inspector noticed the presence of corrugated stainless steel tubing (CSST) used for gas service on the boiler.

## 7. Interiors

### 7.1 Walls

#### Repair or Replace

(1) Guest House

Backwards and missing insulation in the apartment walls in the apartment walls repairing the insulation is recommended



7.1 Item 1(Picture) Backwards and missing insulation in the apartment walls in the apartment walls

(2) Cottage

There is an active water leak at the base of the patio door on both walls. The sill plate on the right side is rotted. The extent of the damage cannot be determined without an invasive inspection.

Having a qualified contractor evaluate and repair as needed is recommended,



7.1 Item 2(Picture) There is an active water leak at the base of the patio door on both walls.

## 7.2 Floors

### Repair or Replace

The inspector noticed cracks or gaps in the grout in the den requiring repair. Contacting a qualified handy person to repair the grout is recommended.

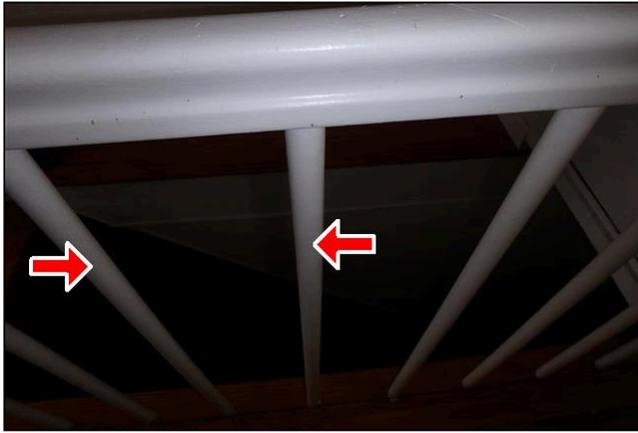
## 7.3 Steps, Stairways, Balconies and Railings

### Repair or Replace

(1) Studio Apartment

The interior hand rail and baluster spacing is beyond the current 4 inch requirement. Modifying the hand rail is recommended.

There is also no handrail present on the stairway. Installing one is recommended,



7.3 Item 1(Picture) The interior hand rail and baluster spacing is beyond the current 4 inch requirement.  
(2) Main House



7.3 Item 2(Picture) There is also no handrail present on the stairway.

There is no railing on the first floor bath. Installing one is recommended

The basement stairs are a safety issue. There is missing steps at the top. Having a qualified contractor evaluate and repair as needed is recommended,



7.3 Item 3(Picture) There is no railing on the first floor bath



7.3 Item 4(Picture) The basement stairs are a safety issue.

**7.4 Doors (representative number)**

**Repair or Replace**

The inspector noticed some of the interior doors make contact with the door jambs in all the houses. Contacting a qualified carpenter to evaluate and repair the doors is recommended.

**8. Fireplace**

**8.0 Fireplaces, Woodstove**

**Repair or Replace**

There is a wood burning stove in the guest house that is not properly installed. It does not have the proper clearance from combustible materials. Having a qualified contractor evaluate and repair as needed is recommended.



8.0 Item 1(Picture) It does not have the proper clearance from combustible materials

### 8.1 Chimney Cap

#### Repair or Replace

The inspector recommends installing a chimney cap to prevent debris and animals from entering the chimney.

### 8.3 Flue and fire box

#### Repair or Replace

The inspector noticed that the flue is in need of cleaning. Contacting a qualified chimney mechanic to clean the flue is recommended.

## 9. Kitchens

### 9.2 Kitchen cabinets, drawers and counter tops

#### Repair or Replace

Main House

The upper cabinets appear to be pulling away from the wall. Having a qualified contractor evaluate and repair as needed is recommended,



9.2 Item 1(Picture) The upper cabinets appear to be pulling away from the wall

### 9.5 Stove top ventilation

#### Repair or Replace

The studio stove is missing a range hood. One should be installed for safety sake.

## 10. Bathrooms

### 10.3 Sink, tub faucets and shower body

#### Repair or Replace

Cottage

The bathroom cold water valve is defective. Having a licensed plumber evaluate and repair as needed is recommended,



10.3 Item 1(Picture) The bathroom cold water valve is defective.

### 10.4 Bathtubs

#### Repair or Replace

The whirlpool in the 1st floor bath was winterized and not tested

### 10.7 Caulking

#### Repair or Replace

The inspector noticed that the bathroom caulking is in need of repair. Caulking around tubs, shower and flooring is recommended to prevent water damage.

## 11. Structure

### 11.0 Foundations, Basement and Crawlspace

#### Repair or Replace

(1) Guest house

The north foundation wall in the guest house is failing. There is a bow in the wall and a large horizontal crack.



11.0 Item 1(Picture) The north foundation wall in the guest house is failing

(2) Cottage

The foundation in the southeast corner of the crawlspace has no footing and is being compromised

Having a structural engineer evaluate further is recommended



11.0 Item 2(Picture) The foundation in the southeast corner of the crawlspace has no footing and is being compromised

(3) Main House

The foundation on the north wall in the wine cellar are not properly constructed. Having a structural engineer evaluate is recommended,



11.0 Item 3(Picture) The foundation on the north wall in the wine cellar are not properly constructed

## 11.2 Columns or Piers

### Repair or Replace

There are no footings under many of the columns in the wine cellar in the main house. Having them evaluated by a qualified contractor is recommended,



11.2 Item 1(Picture) There are no footings under many of the columns in the wine cellar

## 11.3 Floors (Structural)

### Repair or Replace

Main House

1. The floor joist in the crawlspace under the bathroom on the north 1st floor has been compromised.
2. The girder under the living room is not supported (seen from the wine cellar)

Having a qualified contractor evaluate and repair as needed is recommended



11.3 Item 1(Picture) The floor joist in the crawlspace under the bathroom on the north 1st floor has been compromised



11.3 Item 2(Picture) The girder under the living room is not supported (seen from the wine cellar)

**11.7 Evidence of Insects**

**Repair or Replace**

Guest house

The inspector noticed termite activity in the guest house floor joists on the north wall requiring treatment from a qualified pesticide applicator. The total extent of the damage if any could not be determined without an invasive inspection.



11.7 Item 1(Picture) The inspector noticed termite activity in the guest house floor joists on the north wall

**11.8 Insect Damage**

**Repair or Replace**

Guest House

The floor joists in the guest house on the north wall have been effected by termites requiring repair by a qualified contractor. The total extent of the damage could not be determined without an invasive inspection. Having a qualified contractor evaluate and repair as needed is recommended.



11.8 Item 1(Picture) The floor joists in the guest house on the north wall have been effected by termites

## 11.9 Asbestos

### Repair or Replace

Asbestos material sampling is not within the scope of a home inspection and there are hundreds of building materials that may contain asbestos in them that were not tested by the inspector. There is evidence of pipe wrap known to contain asbestos in the the crawl space . Contacting a qualified contractor to address the pipe wrap is recommended.



11.9 Item 1(Picture) There is evidence of pipe wrap known to contain asbestos in the the crawl space

## 12. Plumbing System

### 12.0 Plumbing Drain, Waste and Vent Systems

#### Repair or Replace

(1) Guest House

1. There is no presents of a fresh air intake on the septic system
2. The tub drain is slow in the hall bath
3. The inspector noticed a "S" trap under the kitchen sink. This type of drain promotes syphoning which can leave the drain dry.
4. No air gap on the dishwasher

Having a licensed plumber evaluate and repair as needed is recommended,



12.0 Item 1(Picture) There is no presents of a fresh air intake on the septic system



12.0 Item 2(Picture) The tub drain is slow in the hall bath



12.0 Item 3(Picture) The inspector noticed a "S" trap under the kitchen sink



12.0 Item 4(Picture) No air gap on the dishwasher

(2) Cottage

1. There is a plumbing vent on the east side of the cottage that origin is unknown
2. The inspector noticed that the kitchen sink syphons when draining from poor ventilation.

Contacting a qualified plumber to evaluate and repair the sink drain is recommended.



12.0 Item 5(Picture) There is a plumbing vent on the east side of the cottage that origin is unknown



12.0 Item 6(Picture) The inspector noticed that the kitchen sink syphons when draining from poor ventilation.

(3) Main house

1. There is a plumbing vent stack on the west side of the house that is to close to the structure and window openings

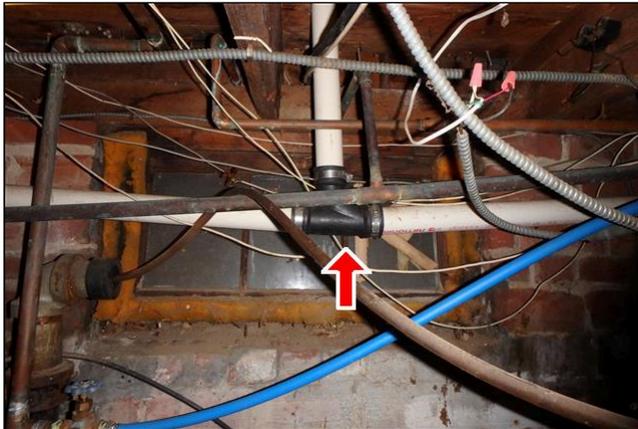
2. There is an "S-Trap" in the 1st floor bath on the north side
3. The drain for the kitchen sink and washing machine has a negative pitch at the "T"
4. Washing machine drain pitched backwards
5. The sink drain is not exiting into the main house drain system



12.0 Item 7(Picture) There is a plumbing vent stack on the west side of the house that is too close to the structure and window openings



12.0 Item 8(Picture) There is an "S-Trap" in the 1st floor bath on the north side



12.0 Item 9(Picture) The drain for the kitchen sink and washing machine has a negative pitch



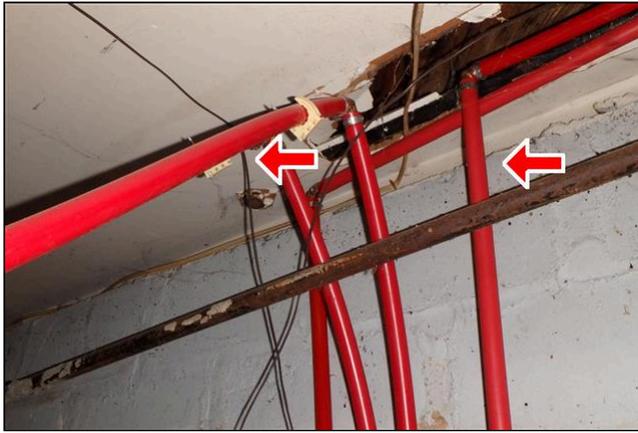
12.0 Item 10(Picture) Washing machine drain pitched backwards

### 12.1 Plumbing Water Supply, Distribution System

#### Repair or Replace

(1) Guest house

The water supply lines in the garage are not properly secured. Securing the line is recommended



12.1 Item 1(Picture) The water supply lines in the garage are not properly secured



12.1 Item 2(Picture) un-secured water supply lines

(2) Main house

1. The water faucet supply line burst on the east side of the exterior



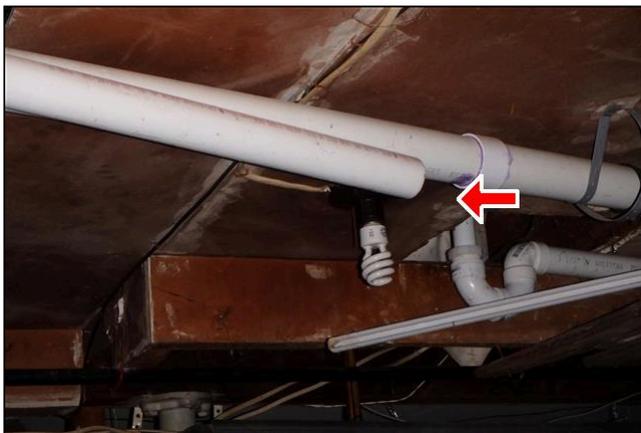
12.1 Item 3(Picture) The water faucet supply line burst on the east side of the exterior

#### 12.4 Sump/Ejector Pump

**Repair or Replace**

Guest House

The inspector noticed that the ejection pump is not vented through the roof as required with a designated vent in the guest house. Contacting a qualified plumber to properly vent the pump is recommended.



12.4 Item 1(Picture) The inspector noticed that the ejection pump is not vented through the roof as required

## 13. Electrical System

### 13.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

#### Repair or Replace

##### (1) Guest house

1. There are terminated wires in the garage outside of a junction box
2. There is missing cover plates for the switches and outlets scattered through out the house.
3. Open junction boxes in the garage
4. The sewage ejection pump is not GFCI protected
5. Exposed romex on the exterior by the entrance door
6. Exposed romex by the garage door entrance
7. Exposed romex and unsecured light switch by the exterior front door
8. The light switch in the master bedroom is not properly installed
9. The inspector noticed hot and neutral reversed receptacles scattered through out the house.
10. Exposed romex wire in the office area
11. Missing circuit breaker knockout blanks

Having a licensed electrician evaluate and repair these items is recommended.



13.3 Item 1(Picture) There are terminated wires in the garage outside of a junction box



13.3 Item 2(Picture) There is missing cover plates for the switches and outlets scattered through out the house



13.3 Item 3(Picture) Open junction boxes in the garage



13.3 Item 4(Picture) The sewage ejector pump is not GFCI protected



13.3 Item 5(Picture) Exposed romex on the exterior by the entrance door



13.3 Item 6(Picture) Exposed romex by the garage door entrance



13.3 Item 7(Picture) Exposed romex and unsecured light switch by the exterior front door



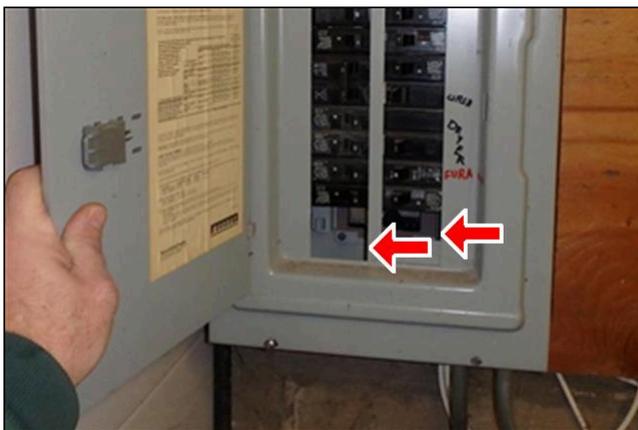
13.3 Item 8(Picture) The light switch in the master bedroom is not properly installed



13.3 Item 9(Picture) The inspector noticed hot and neutral reversed receptacles scattered through out the house



13.3 Item 10(Picture) Exposed romex wire in the office area



13.3 Item 11(Picture) Missing circuit breaker knockout blanks

(2) Cottage

1. There is no power at the exterior receptacle on the north wall
2. The GFCI receptacle on the exterior by the patio door is defective
3. The inspector noticed hot and neutral reversed receptacles scattered through out the house.

Having a licensed electrician evaluate and repair these items is recommended.



13.3 Item 12(Picture) There is no power at the exterior receptacle on the north wall



13.3 Item 13(Picture) The GFCI receptacle on the exterior by the patio door is defective



13.3 Item 14(Picture) The inspector noticed hot and neutral reversed receptacles scattered through out the house

(3) Main House

1. There is a electric heater on the exterior to protect the water lines that is a fire hazard. Removing it is recommended
2. There is a romex wire on the north lower roof outside of conduit and not secured
3. There is exposed romex wires outside of conduit and improperly secured scattered through out the main houses exterior
4. There is exposed romex wire on the garage roof
5. The exterior GFCI receptacle is defective to the left of the front entrance and is missing a cover
6. Hot and neutral are reversed rendering the GFCI useless and is missing a cover on the porch
7. The spot light on the porch is not properly secured
8. There is a missing romex connector in the service panel
9. There are painted over outlets scattered throughout that should be replaced
10. There are ungrounded receptacles in the kitchen

Having a licensed electrician evaluate and repair these items is recommended.

Replacing fan switches with minute timers helps reduce the amount of moisture in a bathroom and is recommended.



13.3 Item 15(Picture) There is a electric heater on the exterior to protect the water lines that is a fire hazard



13.3 Item 16(Picture) There is a romex wire on the north lower roof outside of conduit and not secured



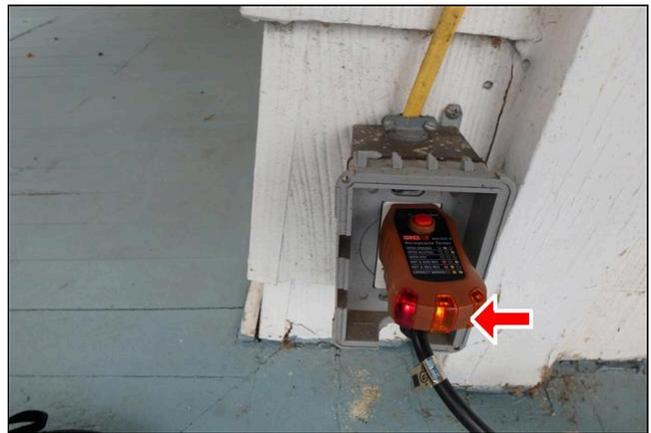
13.3 Item 17(Picture) There is exposed romex wires outside of conduit and improperly secured scattered throughout the main house



13.3 Item 18(Picture) There is exposed romex wire on the garage roof



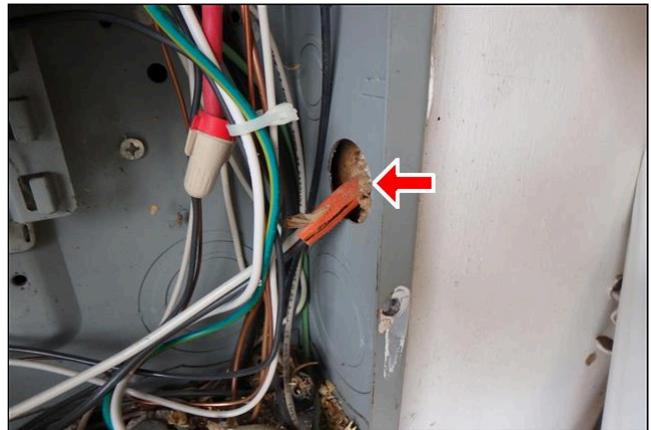
13.3 Item 19(Picture) The exterior GFCI receptacle is defective to the left of the front entrance and is missing a cover



13.3 Item 20(Picture) Hot and neutral are reversed rendering the GFCI useless and is missing a cover on the porch



13.3 Item 21(Picture) The spot light on the porch is not properly secured



13.3 Item 22(Picture) There is a missing romex connector in the service panel



13.3 Item 23(Picture) There are painted over outlets scattered throughout that should be replaced



13.3 Item 24(Picture) There are ungrounded receptacles in the kitchen

**13.6 Smoke Detectors**

**Not Inspected**

Currently smoke detectors are required in the main hall, all bedrooms and one on each level. Consideration to installing smoke detectors to today's standard is recommended. More information regarding smoke detectors can be obtained at [www.dos.ny.gov](http://www.dos.ny.gov) website.

**13.7 Carbon Monoxide Detectors**

**Not Inspected**

The inspector did not see carbon monoxide detectors placed where they should be. All floors where there are bedrooms should have detectors in the hall. There should be detectors on each level of the home where there are fuel combustive appliances. It is recommended that they be installed according to the manufacturer's instructions and local requirements.

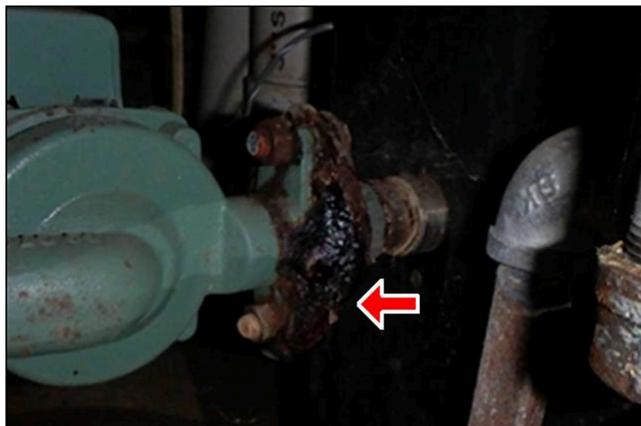
**14. Heating**

**14.0 Heating Equipment**

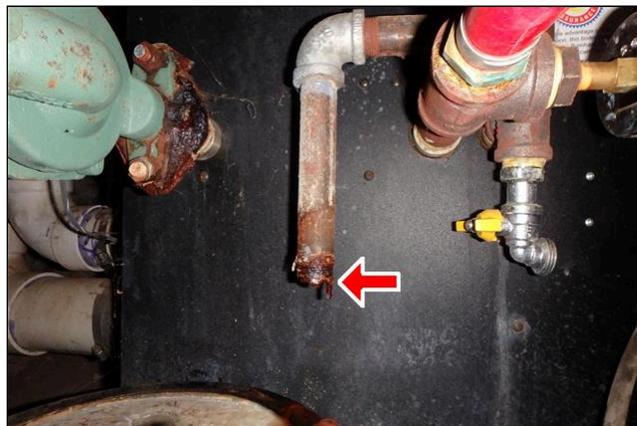
**Repair or Replace**

Main House

The circulator gasket is leaking and the TPS valve is also leaking. Having a licensed plumber evaluate and repair as needed is recommended



14.0 Item 1(Picture) Leaking gasket



14.0 Item 2(Picture) leaking TPS valve

**14.3 Presence of Installed Heat Source in Each Room**

**Repair or Replace**

## Main House

There was no heat present in the south west 2nd floor bedroom. Having a plumber evaluate and repair as needed is recommended,

**14.4 Chimneys, Flues and Vents****Repair or Replace**

(1) The visual portion of the chimney and flues were inspected. The liners for furnace or fireplaces were not inspected by our company. I recommend a qualified chimney sweep inspect for safety.

(2) Cottage

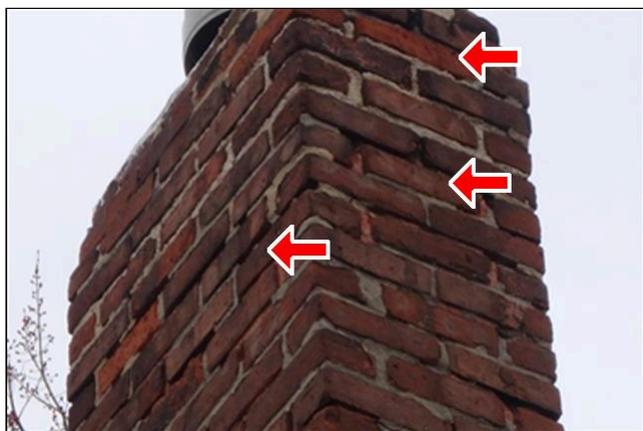
The hot water heater flu is too close to the roof. Having a qualified contractor evaluate and repair as needed is recommended,



14.4 Item 1(Picture) The hot water heater flu is too close to the roof

(3) Main house

The chimney crown is cracked and the mortar/bricks are loose. Contacting a qualified mason is recommended to evaluate and repair the chimney is recommended.



14.4 Item 2(Picture) The chimney crown is cracked and the mortar/bricks are loose.

**14.5 Recently Serviced****Repair or Replace**

The inspector did not notice a recent service ticket. Heating systems should be evaluated and serviced every year. Contacting a qualified heating mechanic to evaluate and service the unit on an annual basis is recommended.

## 15. Insulation and Ventilation

### 15.0 Insulation in Attic

#### Repair or Replace

Guest house

The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house. Reversing the insulation is recommended.



15.0 Item 1(Picture) The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house

### 15.1 Insulation Under Floor System

#### Repair or Replace

Guest House

The floor of the office is not insulated or protected from weather or infestation. Heat loss can occur more on this home than one that is properly insulated.



15.1 Item 1(Picture) The floor of the office is not insulated or protected from weather or infestation

### 15.2 Vapor Retarders (in Crawlspace or basement)

#### Repair or Replace

The vapor barrier (plastic) on the crawlspace ground is missing. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified person should repair or replace as needed.

### 15.4 Venting Systems (Kitchens, Baths and Laundry)

**Repair or Replace**

It is recommended to clean all of the dryer vent duct work prior to use. This should be done on a regular basis to prevent fires from starting in the ductwork.

**16. Basememnt****16.1 Living space****Repair or Replace**

The inspector does not do a mold inspection as part of the home inspection but did noticed growth on the wall by the patio door in the cottage. Some molds have been known to be a health hazard. Contacting a qualified contractor to evaluate the growth is recommended.

More information can be found at the NYS Dept.of State <http://www.health.ny.gov/publications/7287/>

**17. Crawl space****17.1 Insulation****Repair or Replace**

Main House

1. The floor system is not insulated under the first floor bath on the north side. Heat loss can occur more on this home than one that is properly insulated.
2. The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house. Reversing the insulation is recommended.



17.1 Item 1(Picture) The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house

**17.4 Earth to wood contact****Repair or Replace**

The soil to framing clearance is not satisfactory. The inspector recommends 18 inches. Creating this clearance to prevent insect infestation, moisture damage and for inspection is recommended.

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or

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guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To John Zeoli*

## Positive Aspects

**P.O. Box 586  
East Northport, N.Y. 11731  
Cell 631.626.4768**

**Customer**  
John Donut

**Address**  
1 New Home  
Heaven on earth NY 11111

## 6. Utilities

### 6.4 In Ground Irrigation

#### Not Inspected

The structure is equipped with an in ground irrigation system that should provide automatic watering of the exterior landscaping. The system was not tested by the inspector.

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**New Home Inspectors LLC**

**P.O. Box 586  
East Northport, N.Y. 11731  
Cell 631.626.4768**

## **Report Attachments**

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[NPMA-33 Pest Form](#)

## 1. Driveways, Steps and Walks

### Styles & Materials

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driveway material:

Asphalt

### Items

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#### 1.0 Driveway condition

**Comments:** Repair or Replace

(1) There are cracks in the driveway that should be filled to prevent deterioration to the driveway. Water entering the cracks will lead to deterioration and repairing the cracks now will prevent further damage.



1.0 Item 1(Picture) There are cracks in the driveway that should be filled to prevent deterioration to the driveway.

(2) The concrete driveway apron on the guest house is in a deteriorated state with broken concrete. Contacting a qualified mason to replace the driveway should be considered.



1.0 Item 2(Picture) The concrete driveway apron on the guest house is in a deteriorated state with broken concrete.

#### 1.1 Walkway condition

**Comments:** Repair or Replace

Guest House

The north steps are deteriorated and missing a handrail installing one is recommended



1.1 Item 1(Picture) The north steps are deteriorated and missing a handrail

**1.2 Condition of steps**

**Comments:** Repair or Replace  
Cottage

Missing railing on the front porch. Installing one for safety sake is recommended,



1.2 Item 1(Picture) Missing railing on the front porch

**1.3 Retaining Walls**

**Comments:** Repair or Replace

(1) Guest House

1. Retaining walls are deteriorated on the south side of the house
2. The wood retaining wall is rotted to the left of the deck

Having a qualified contractor evaluate and repair as needed is recommended,



1.3 Item 1(Picture) Retaining walls are deteriorated



1.3 Item 2(Picture) Offset cracks in the retaining wall



1.3 Item 3(Picture) The wood retaining wall is rotted to the left of the deck

(2) Cottage

The retaining wall to the east side is deteriorated. Having a qualified contractor evaluate and repair as needed is recommended,



1.3 Item 4(Picture) The retaining wall to the east side is deteriorated

(3) Main house

1. The retaining walls on the north side are deteriorated



1.3 Item 5(Picture) The retaining walls on the north side are deteriorated

**2. Roofing**

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

**Styles & Materials**

**Viewed roof covering from:**

Walked roof

**Roof material:**

- 3 Tab
- Architectural
- Rubber membrane

**Layers:**

- 1 Layer
- 2 Layers

**Items**

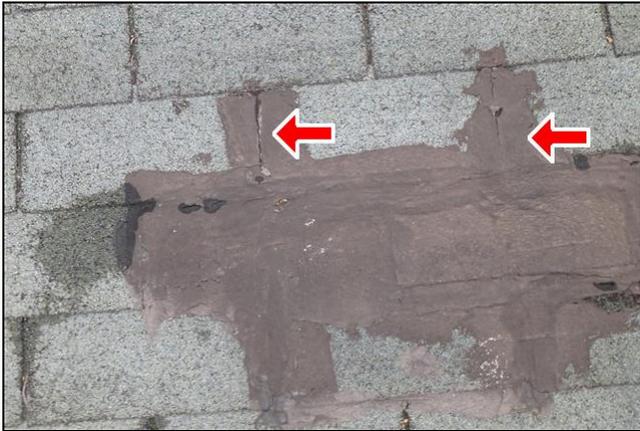
**2.0 Roof Coverings**

**Comments:** Repair or Replace

The inspector noticed 2 layers of roofing on the guest house and the main house. Adding another layer of roofing is not

allowed.

There are some tared repairs to the roof that are deteriorated and need to be evaluated and corrected by a qualified roofer.



2.0 Item 1(Picture) There are some tared repairs to the roof that are deteriorated

### 2.1 Evidence of Current Roof Leaks

**Comments:** Not Present

### 2.2 Flashings

**Comments:** Repair or Replace

Main house

The flashing on the upper west wall is installed incorrectly. Having a qualified contractor evaluate and repair as needed is recommended,



2.2 Item 1(Picture) The flashing on the upper west wall is installed incorrectly.

### 2.3 Skylights, Chimneys and Roof Penetrations

**Comments:** Inspected

The inspector noticed that the acrylic skylights are cracked. The skylights are not currently leaking.

### 2.4 Roof Drainage Systems

**Comments:** Repair or Replace

The gutter leaders are depositing water at the base of the foundation on all the houses. Water at the base of the foundation can penetrate the structure and cause water damage. Gutter leaders should extend 6 feet away from the structure.



2.4 Item 1(Picture) The gutter leaders are depositing water at the base of the foundation on all the houses.

## 2.5 Moss and Algae

**Comments:** Repair or Replace

The inspector noticed moss/lichen growth on the roof and black algae streaks. Lichen can cause mineral loss on the roof shingles. The growth can be cleaned off by a qualified professional.



2.5 Item 1(Picture) The inspector noticed moss/lichen growth on the roof and black algae streaks

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 3. Exterior



The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

## Styles & Materials

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### Siding material:

- Vinyl
- Wood

## Items

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### 3.0 Siding and Trim

**Comments:** Repair or Replace

(1) Guest House

1. There is deteriorated trim scattered around the house.
2. The lower level apartment door is un-professionally installed
3. The garage doors need repair
4. There is no glass present in the attic window
5. Deteriorated trim on the south east corner of the house

Having a qualified contractor evaluate and repair as needed is recommended,



3.0 Item 1(Picture) There is deteriorated trim scattered around the house



3.0 Item 2(Picture) The lower level apartment door is un-professionally installed



3.0 Item 3(Picture) The garage doors need repair



3.0 Item 4(Picture) There is no glass present in the attic window



3.0 Item 5(Picture) Deteriorated trim on the south east corner of the house

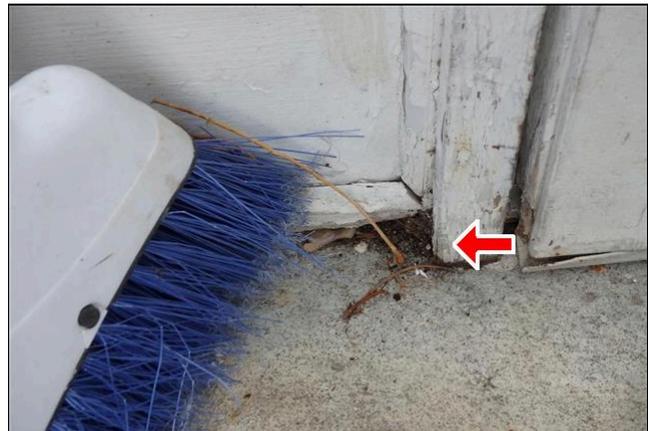
(2) Main House

1. The columns by the front entrance are deteriorated at the base
2. The front entry door trim is rotted at the base
3. There are opening in the plywood in the basement window allowing infestation
4. There is scattered trim rotted around the house
5. The column on the north deck is rotted

Having a qualified contractor evaluate and repair as needed is recommended,



3.0 Item 6(Picture) The columns by the front entrance are deteriorated at the base



3.0 Item 7(Picture) The front entry door trim is rotted at the base



3.0 Item 8(Picture) There are opening in the plywood in the basement window allowing infestation



3.0 Item 9(Picture) There is scattered trim rotted around the house



3.0 Item 10(Picture) The column on the north deck is rotted

**3.1 Eaves, Soffits and Fascias**

**Comments:** Repair or Replace Cottage

The inspector noticed a lack of soffit vents around the house. Installing soffit vents is recommended to help increase attic ventilation and increase roof life.



3.1 Item 1(Picture) The inspector noticed a lack of soffit vents around the house.

**3.2 Exterior Caulking**

**Comments:** Repair or Replace

The exterior caulking is showing signs of deterioration. Consideration of repairing the caulking in the near future is recommended.

**3.3 Doors (Exterior)**

**Comments:** Repair or Replace

Main House

The inspector noticed a cracked door jamb on the west roof door and the rear den door is taped shut requiring repair by a qualified carpenter.



3.3 Item 1(Picture) The inspector noticed a cracked door jamb on the west roof door



3.3 Item 2(Picture) the rear den door is taped shut

**3.4 Storm Doors**

**Comments:** Inspected

**3.5 Windows**

**Comments:** Repair or Replace

(1) Guest House

The inspector noticed broken window sash cords scattered around. This prevents the window from staying up. Having a qualified contractor evaluate and repair as needed is recommended,



3.5 Item 1(Picture) The inspector noticed broken window sash cords scattered around.

(2) Studio Apartment

1. The north facing windows are covered in plastic indicating defective weather stripping.
2. The casement window on the west side will not lock

Having a qualified contractor evaluate and repair as needed.



3.5 Item 2(Picture) The casement window on the west side will not lock

(3) Main House

1. The windows in the upper north bedroom would not open
2. The inspector noticed broken window seals scattered throughout the house. This milky condition can only be repaired by replacing the window glass or window itself. Contacting a qualified glazier is recommended.
3. There is an active leak in the bathroom windows on the 1st floor facing north

Having a qualified contractor evaluate and repair as needed.



3.5 Item 3(Picture) The windows in the upper north bedroom would not open



3.5 Item 4(Picture) The inspector noticed broken window seals scattered throughout the house



3.5 Item 5(Picture) There is an active leak in the bathroom windows on the 1st floor facing north

**3.6 Window Wells**

**Comments:** Repair or Replace

Installing window wells on the guest house to create the 6 inch soil clearance is recommended. This will help prevent water infiltration and insect damage.



3.6 Item 1(Picture) Installing window wells on the guest house to create the 6 inch soil clearance is recommended.

**3.7 Vegetation and Earth to Siding Contact**

**Comments:** Repair or Replace

(1) The vegetation is too close to the structures. There should be no vegetation within 12 inches of the house. The tree limbs should be 6 feet away from the structure. Making the necessary corrections is recommended.



3.7 Item 1(Picture) The vegetation is too close to the structure.

3.7 Item 2(Picture) Vegetation too close to the cottage



3.7 Item 3(Picture) Vegetation on the main house

(2) It is recommended that the soil be 6 inches below the siding to prevent damage to the structure and inspect infestation. There should be no earth to wood contact. Creating a 6 inch clearance is recommended.



3.7 Item 4(Picture) It is recommended that the soil be 6 inches below the siding to prevent damage to the structure and inspect infestation on the cottage and main house

### 3.8 Grading

**Comments:** Repair or Replace

The grading around the perimeter is not the recommended 6 feet away. Creating soil grading pitching away 6 feet from the house is recommended to prevent water damage to the structures.

### 3.9 Evidence of Animals

**Comments:** Repair or Replace

There are rodent bait stations around the property. Questioning the owner as to the status is recommended,

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 4. Decks, Patio and Porches

### Items

---

#### 4.0 Deck surface

**Comments:** Repair or Replace

The inspector noticed that some of the boards have checked (cracked) in some areas. It is recommended to replace these boards to prevent splintering.

#### 4.1 Porch Surface

**Comments:** Repair or Replace

Main House

There are buckling and rotted deck boards on the front porch. Replacing the boards is recommended



4.1 Item 1(Picture) There are buckling and rotted deck boards on the front porch

#### 4.2 Steps and railings

**Comments:** Repair or Replace

Main House

1. The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard. This is a child safety hazard.
2. The stairs on the pool are deteriorated and missing a railing
3. Missing railing on the north west corner of the deck
4. The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard on the east side stairs

Contacting a qualified carpenter to evaluate and repair the railing is recommended.



4.2 Item 1(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard.



4.2 Item 2(Picture) The stairs on the pool are deteriorated and missing a railing



4.2 Item 3(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard.



4.2 Item 4(Picture) Missing railing on the north west corner of the deck



4.2 Item 5(Picture) The inspector noticed that the railing baluster spacing is beyond the current recommended 4 inch standard on the east side stairs

**4.3 Deck / Porch structure**

**Comments:** Repair or Replace

Main house

1. The porch is not properly supported and requires further evaluation.
2. The pool deck has no footings and is improperly supported
3. The girder on the pool deck is separating at the seam due to lack of support
4. Some deck support posts are not making contact with the ground
5. Many boards are deteriorated on the porch

Having a qualified contractor evaluate and repair as needed is recommended,



4.3 Item 1(Picture) The porch is not properly supported and requires further evaluation



4.3 Item 2(Picture) The pool deck has no footings and is improperly supported



4.3 Item 3(Picture) The girder on the pool deck is separating at the seam due to lack of support



4.3 Item 4(Picture) Some deck support posts are not making contact with the ground



4.3 Item 5(Picture) Many boards are deteriorated on the porch

**4.4 Gas service to deck or patio**

**Comments:** Not Present

Gas service to the patio and deck is convenient. Making sure that the barbecue equipment is away from the structure to prevent fire or heat damage is recommended.

**5. Garage**

**Styles & Materials**

**Garage Door Type:**

- Two manual
- One automatic

**Garage Door Material:**

- Metal
- Wood

**Items**

**5.0 Garage Ceilings and Walls**

**Comments:** Repair or Replace

(1) Guest House

The garage in the guest house is missing fire retardant sheet rock in sections in the garage. Replacing the missing sheet rock with 5/8 fire retardant sheet rock is recommended.



5.0 Item 1(Picture) The garage in the guest house is missing fire retardant sheet rock in sections in the garage

(2) Main House

The installation of wood attic stairs is a breach in the fire rock. There are stairs that have a fire rating. Consideration to replacing the stairs with the proper stairs is recommended.

There are holes in the sheetrock in the garage.

Having a qualified contractor evaluate and repair as needed is recommended,



5.0 Item 2(Picture) The installation of wood attic stairs is a breach in the fire rock



5.0 Item 3(Picture) There are holes in the sheetrock in the garage

**5.1 Garage Floor**

**Comments:** Not Inspected

The amount of stored items prohibits an proper inspection of the garage. Inspecting when the garage is empty is recommended.

**5.2 Garage Door (s)**

**Comments:** Repair or Replace

The inspector noticed rot on the door jamb on base of the garage door. Contacting a qualified handy person the repair the door jamb is recommended.



5.2 Item 1(Picture) The inspector noticed rot on the door jamb on base of the garage door.

### 5.3 Garage Door Operators (Report whether or not doors will reverse when met with resistance)

**Comments:** Repair or Replace

Main House

The garage door opener was operational but does not have safety beams. It is recommended to upgrade the opener to a newer model for safety sake.



5.3 Item 1(Picture) The garage door opener was operational but does not have safety beams

### 5.4 Occupant Door (from garage to inside of home)

**Comments:** Repair or Replace

Main House

The occupant door from inside garage to inside the home is not a fire rated door. This means that should a fire occur in garage, the occupant door does not afford protection until fireman arrive. This door should be replaced with a steel fire door, steel jamb 1.5 hour rated fire door self closing hinges.

## 6. Utilities

### Styles & Materials

**Electric service:**

Overhead

**Gas service:**

Natural

**Water System:**

City

**Waste system:**

Unknown

**Items**

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**6.0 Fuel Storage and Distribution Systems****Comments:** Repair or Replace

Main House

The inspector noticed signs of a buried oil tank and recommends obtaining a abandonment certificate. All abandoned in the ground oil tanks are required to be abandoned by a licensed contractor. Questioning the owner as to the status of the tank and certificate is recommended.



6.0 Item 1(Picture) The inspector noticed signs of a buried oil tank and recommends obtaining a abandonment certificate

**6.1 Main Fuel Shut-off (Describe Location)****Comments:** Inspected

The main fuel shut off is at gas meter and at appliances

**6.2 Overhead electric service****Comments:** Inspected**6.3 Gas pipe material****Comments:** Repair or Replace

Main House

There is an open gas line on the east side of the exterior missing a cap. Capping it for safety sake is recommended,

The inspector noticed the presence of corrugated stainless steel tubing (CSST) used for gas service on the boiler. This product has had some problems with leaking after remote lightning strikes in the area. The manufacturer recommends that the gas service be bonded (grounded) for safety sake. Contacting a qualified electrician is recommended.



6.3 Item 1(Picture) There is an open gas line on the east side of the exterior missing a cap



6.3 Item 2(Picture) The inspector noticed the presence of corrugated stainless steel tubing (CSST) used for gas service on the boiler.

**6.4 In Ground Irrigation**

**Comments:** Not Inspected

The structure is equipped with an in ground irrigation system that should provide automatic watering of the exterior landscaping. The system was not tested by the inspector.

**7. Interiors**

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

**Styles & Materials**

**Walls and Ceiling Materials:**

- Gypsum Board
- Plaster

**Floor Covering(s):**

- Carpet
- Wood T&G
- Laminated T&G
- Tile

**Interior Doors:**

- Hollow core
- Solid

**Window Types:**

- Thermal/Insulated
- Single pane
- Storm windows

**Items**

**7.0 Ceilings**

**Comments:** Inspected

**7.1 Walls**

**Comments:** Repair or Replace

## (1) Guest House

Backwards and missing insulation in the apartment walls in the apartment walls repairing the insulation is recommended



7.1 Item 1(Picture) Backwards and missing insulation in the apartment walls in the apartment walls

## (2) Cottage

There is an active water leak at the base of the patio door on both walls. The sill plate on the right side is rotted. The extent of the damage cannot be determined without an invasive inspection.

Having a qualified contractor evaluate and repair as needed is recommended,



7.1 Item 2(Picture) There is an active water leak at the base of the patio door on both walls.

**7.2 Floors**

**Comments:** Repair or Replace

The inspector noticed cracks or gaps in the grout in the den requiring repair. Contacting a qualified handy person to repair the grout is recommended.

**7.3 Steps, Stairways, Balconies and Railings**

**Comments:** Repair or Replace

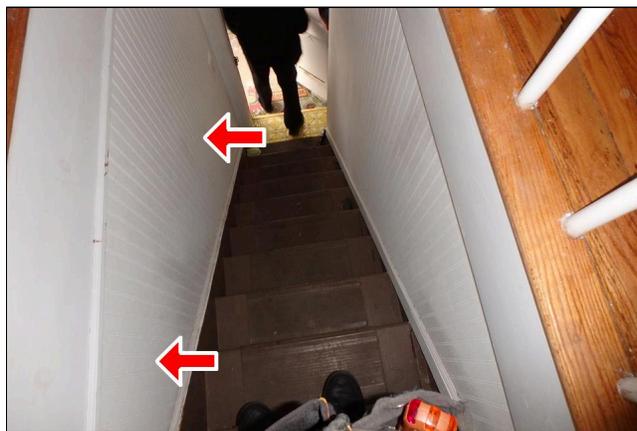
(1) Studio Apartment

The interior hand rail and baluster spacing is beyond the current 4 inch requirement. Modifying the hand rail is recommended.

There is also no handrail present on the stairway. Installing one is recommended,



7.3 Item 1(Picture) The interior hand rail and baluster spacing is beyond the current 4 inch requirement.



7.3 Item 2(Picture) There is also no handrail present on the stairway.

(2) Main House

There is no railing on the first floor bath. Installing one is recommended

The basement stairs are a safety issue. There is missing steps at the top. Having a qualified contractor evaluate and repair as needed is recommended,



7.3 Item 3(Picture) There is no railing on the first floor bath



7.3 Item 4(Picture) The basement stairs are a safety issue.

**7.4 Doors (representative number)**

**Comments:** Repair or Replace

The inspector noticed some of the interior doors make contact with the door jambs in all the houses. Contacting a qualified carpenter to evaluate and repair the doors is recommended.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**8. Fireplace**

## Styles & Materials

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### Fuel type:

- Gas operated
- Wood Burning

## Items

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### 8.0 Fireplaces, Woodstove

**Comments:** Repair or Replace

There is a wood burning stove in the guest house that is not properly installed. It does not have the proper clearance from combustible materials. Having a qualified contractor evaluate and repair as needed is recommended.



8.0 Item 1(Picture) It does not have the proper clearance from combustible materials

### 8.1 Chimney Cap

**Comments:** Repair or Replace

The inspector recommends installing a chimney cap to prevent debris and animals from entering the chimney.

### 8.2 Exterior condition of the fireplace

**Comments:** Inspected

### 8.3 Flue and fire box

**Comments:** Repair or Replace

The inspector noticed that the flue is in need of cleaning. Contacting a qualified chimney mechanic to clean the flue is recommended.

### 8.4 Damper

**Comments:** Inspected

## 9. Kitchens

## Items

---

### 9.0 Kitchen Floor

**Comments:** Inspected

### 9.1 Kitchen faucet

**Comments:** Inspected

### 9.2 Kitchen cabinets, drawers and counter tops

**Comments:** Repair or Replace

## Main House

The upper cabinets appear to be pulling away from the wall. Having a qualified contractor evaluate and repair as needed is recommended,



9.2 Item 1(Picture) The upper cabinets appear to be pulling away from the wall

**9.3 Oven condition**

Comments: Not Inspected

**9.4 Stove condition**

Comments: Inspected

**9.5 Stove top ventilation**

Comments: Repair or Replace

The studio stove is missing a range hood. One should be installed for safety sake.

**9.6 Microwave condition**

Comments: Inspected

**9.7 Dishwasher**

Comments: Inspected

**9.8 Refirgerator condition**

Comments: Inspected

**10. Bathrooms****Items****10.0 Floor covering**

Comments: Inspected

**10.1 Water proof wall covering**

Comments: Inspected

**10.2 Vanity and counter top**

Comments: Inspected

**10.3 Sink, tub faucets and shower body**

Comments: Repair or Replace

Cottage

The bathroom cold water valve is defective. Having a licensed plumber evaluate and repair as needed is recommended,



10.3 Item 1(Picture) The bathroom cold water valve is defective.

**10.4 Bathtubs**

**Comments:** Repair or Replace

The whirlpool in the 1st floor bath was winterized and not tested

**10.5 Shower doors**

**Comments:** Inspected

**10.6 Sink, Shower and Tub Drains**

**Comments:** Inspected

**10.7 Caulking**

**Comments:** Repair or Replace

The inspector noticed that the bathroom caulking is in need of repair. Caulking around tubs, shower and flooring is recommended to prevent water damage.

**10.8 Toilet**

**Comments:** Inspected

**11. Structure**

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

**Styles & Materials**

**Foundation type:**

- Basement
- Slab
- Crawl space

**Foundation:**

- Masonry Block
- Brick
- Poured Concrete

**Method used to observe Crawlspace:**

- From entry
- Could not access
- Crawled
- Limited access

**Floor Structure:**

- Wood joists

**Wall Structure:**

- Wood Studs

**Columns or Piers:**

- Brick piers
- Dry stacked rock or stone
- Masonry block

<b>Ceiling Structure:</b> Wood	<b>Roof Structure:</b> Stick-built	Wood Post
<b>Method used to observe attic:</b> Walked/Crawled Inaccessible	<b>Attic access:</b> Pull Down stairs	<b>Roof-Type:</b> Flat Gable

**Items**

**11.0 Foundations, Basement and Crawlspace**

**Comments:** Repair or Replace

(1) Guest house

The north foundation wall in the guest house is failing. There is a bow in the wall and a large horizontal crack.



11.0 Item 1(Picture) The north foundation wall in the guest house is failing

(2) Cottage

The foundation in the southeast corner of the crawlspace has no footing and is being compromised

Having a structural engineer evaluate further is recommended



11.0 Item 2(Picture) The foundation in the southeast corner of the crawlspace has no footing and is being compromised

(3) Main House

The foundation on the north wall in the wine cellar are not properly constructed. Having a structural engineer evaluate is recommended,



11.0 Item 3(Picture) The foundation on the north wall in the wine cellar are not properly constructed

**11.1 Walls (Structural)**

**Comments:** Inspected

**11.2 Columns or Piers**

**Comments:** Repair or Replace

There are no footings under many of the columns in the wine cellar in the main house. Having them evaluated by a qualified contractor is recommended,



11.2 Item 1(Picture) There are no footings under many of the columns in the wine cellar

**11.3 Floors (Structural)**

**Comments:** Repair or Replace

Main House

1. The floor joist in the crawlspace under the bathroom on the north 1st floor has been compromised.
2. The girder under the living room is not supported (seen from the wine cellar)

Having a qualified contractor evaluate and repair as needed is recommended



11.3 Item 1(Picture) The floor joist in the crawlspace under the bathroom on the north 1st floor has been compromised



11.3 Item 2(Picture) The girder under the living room is not supported (seen from the wine cellar)

**11.4 Ceilings (Structural)**

**Comments:** Inspected

**11.5 Roof Structure and Attic**

**Comments:** Inspected

**11.6 Evidence of Remodeling**

**Comments:** Inspected

The inspector noticed some changes to the structure possibly requiring permits, plans and inspections. Questioning the owner as to the status of such plans and permits is recommended.

**11.7 Evidence of Insects**

**Comments:** Repair or Replace

Guest house

The inspector noticed termite activity in the guest house floor joists on the north wall requiring treatment from a qualified pesticide applicator. The total extent of the damage if any could not be determined without an invasive inspection.



11.7 Item 1(Picture) The inspector noticed termite activity in the guest house floor joists on the north wall

### 11.8 Insect Damage

**Comments:** Repair or Replace  
Guest House

The floor joists in the guest house on the north wall have been effected by termites requiring repair by a qualified contractor. The total extent of the damage could not be determined without an invasive inspection. Having a qualified contractor evaluate and repair as needed is recommended.



11.8 Item 1(Picture) The floor joists in the guest house on the north wall have been effected by termites

### 11.9 Asbestos

**Comments:** Repair or Replace

Asbestos material sampling is not within the scope of a home inspection and there are hundreds of building materials that may contain asbestos in them that were not tested by the inspector. There is evidence of pipe wrap known to contain asbestos in the the crawl space . Contacting a qualified contractor to address the pipe wrap is recommended.



11.9 Item 1(Picture) There is evidence of pipe wrap known to contain asbestos in the the crawl space

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The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**12. Plumbing System**

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

**Styles & Materials**

<p><b>Water source:</b> City</p>	<p><b>Plumbing Water Supply (into home):</b> Copper</p>	<p><b>Plumbing Water Distribution (inside home):</b> Copper PEX</p>
<p><b>Plumbing Waste:</b> PVC Cast iron Steel</p>	<p><b>Water heater fuel:</b> Gas Tankless coil in the boiler</p>	<p><b>Water Heater Capacity:</b> 40 Gallon Extra Info : Cottage GE MFD 07/2003 Main House Bradford White. MFD 2014</p>
<p><b>Water Heater Location:</b> In a Closet In the basement</p>		

**Items**

**12.0 Plumbing Drain, Waste and Vent Systems**

**Comments:** Repair or Replace

(1) Guest House

1. There is no presents of a fresh air intake on the septic system
2. The tub drain is slow in the hall bath
3. The inspector noticed a "S" trap under the kitchen sink. This type of drain promotes syphoning which can leave the drain dry.
4. No air gap on the dishwasher

Having a licensed plumber evaluate and repair as needed is recommended,



12.0 Item 1(Picture) There is no presents of a fresh air intake on the septic system



12.0 Item 2(Picture) The tub drain is slow in the hall bath



12.0 Item 3(Picture) The inspector noticed a "S" trap under the kitchen sink



12.0 Item 4(Picture) No air gap on the dishwasher

(2) Cottage

1. There is a plumbing vent on the east side of the cottage that origin is unknown
2. The inspector noticed that the kitchen sink syphons when draining from poor ventilation.

Contacting a qualified plumber to evaluate and repair the sink drain is recommended.



12.0 Item 5(Picture) There is a plumbing vent on the east side of the cottage that origin is unknown



12.0 Item 6(Picture) The inspector noticed that the kitchen sink syphons when draining from poor ventilation.

(3) Main house

1. There is a plumbing vent stack on the west side of the house that is too close to the structure and window openings
2. There is an "S-Trap" in the 1st floor bath on the north side
3. The drain for the kitchen sink and washing machine has a negative pitch at the "T"
4. Washing machine drain pitched backwards
5. The sink drain is not exiting into the main house drain system



12.0 Item 7(Picture) There is a plumbing vent stack on the west side of the house that is too close to the structure and window openings



12.0 Item 8(Picture) There is an "S-Trap" in the 1st floor bath on the north side



12.0 Item 9(Picture) The drain for the kitchen sink and washing machine has a negative pitch



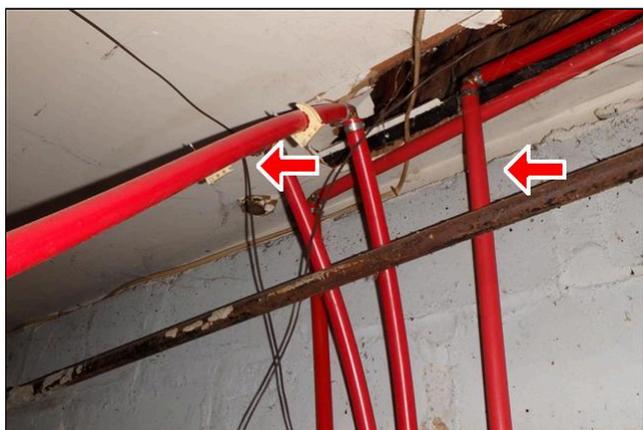
12.0 Item 10(Picture) Washing machine drain pitched backwards

**12.1 Plumbing Water Supply, Distribution System**

**Comments:** Repair or Replace

(1) Guest house

The water supply lines in the garage are not properly secured. Securing the line is recommended



12.1 Item 1(Picture) The water supply lines in the garage are not properly secured



12.1 Item 2(Picture) un-secured water supply lines

(2) Main house

1. The water faucet supply line burst on the east side of the exterior



12.1 Item 3(Picture) The water faucet supply line burst on the east side of the exterior

**12.2 Water heater**

**Comments:** Inspected

## (1) Cottage

The water heater is beyond it's anticipated 8-12 year life span. Budgeting for replacement is recommended.

## (2) Main House

The inspector notice no TPS tube. Installing one that is terminated no more then 6 inches off the floor is recommended.



12.2 Item 1(Picture) he inspector notice no TPS tube.

**12.3 Main Water Shut-off Device (Describe location)**

**Comments:** Inspected

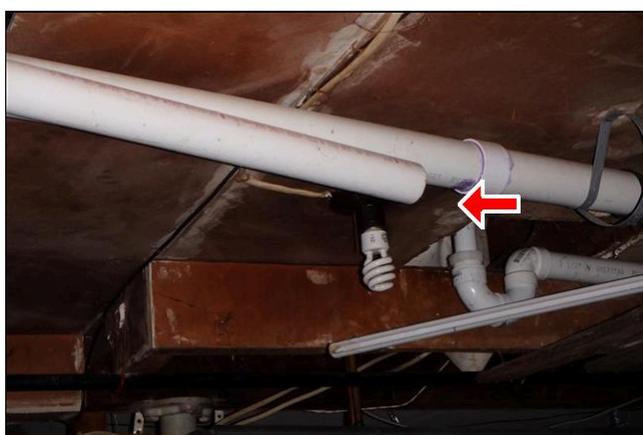
The water main shut off is located in the basement in the main house, in the garage in the guest house and not found in the cottage. Questioning the owner is recommended,

**12.4 Sump/Ejector Pump**

**Comments:** Repair or Replace

Guest House

The inspector noticed that the ejection pump is not vented through the roof as required with a designated vent in the guest house. Contacting a qualified plumber to properly vent the pump is recommended.



12.4 Item 1(Picture) The inspector noticed that the ejection pump is not vented through the roof as required

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**13. Electrical System**

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

**Styles & Materials**

<p><b>Electrical Service Conductors:</b> Overhead service</p>	<p><b>Service Entry Wire:</b> Copper</p>	<p><b>Panel capacity:</b> 100 AMP 200 AMP Extra Info : 100 in the guest house, 100 amp in the Cottage, 200 amp main house</p>
<p><b>Panel Type:</b> Circuit breakers</p>	<p><b>Electric Panel Manufacturer:</b> CUTLER HAMMER MURRAY</p>	<p><b>Branch wire 15 and 20 AMP:</b> Copper</p>
<p><b>Wiring Methods:</b> Romex BX</p>		

**Items**

- 13.0 Service Entrance Conductors**  
Comments: Inspected
- 13.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels**  
Comments: Inspected
- 13.2 Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage**  
Comments: Inspected
- 13.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)**  
Comments: Repair or Replace

(1) Guest house

1. There are terminated wires in the garage outside of a junction box
2. There is missing cover plates for the switches and outlets scattered through out the house.
3. Open junction boxes in the garage
4. The sewage ejection pump is not GFCI protected
5. Exposed romex on the exterior by the entrance door
6. Exposed romex by the garage door entrance
7. Exposed romex and unsecured light switch by the exterior front door
8. The light switch in the master bedroom is not properly installed
9. The inspector noticed hot and neutral reversed receptacles scattered through out the house.
10. Exposed romex wire in the office area
11. Missing circuit breaker knockout blanks

Having a licensed electrician evaluate and repair these items is recommended.



13.3 Item 1(Picture) There are terminated wires in the garage outside of a junction box



13.3 Item 2(Picture) There is missing cover plates for the switches and outlets scattered through out the house



13.3 Item 3(Picture) Open junction boxes in the garage



13.3 Item 4(Picture) The sewage ejection pump is not GFCI protected



13.3 Item 5(Picture) Exposed romex on the exterior by the entrance door



13.3 Item 6(Picture) Exposed romex by the garage door entrance



13.3 Item 7(Picture) Exposed romex and unsecured light switch by the exterior front door



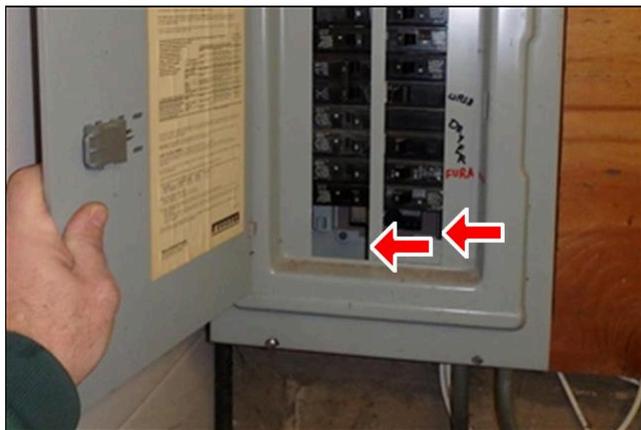
13.3 Item 8(Picture) The light switch in the master bedroom is not properly installed



13.3 Item 9(Picture) The inspector noticed hot and neutral reversed receptacles scattered through out the house



13.3 Item 10(Picture) Exposed romex wire in the office area



13.3 Item 11(Picture) Missing circuit breaker knockout blanks

(2) Cottage

1. There is no power at the exterior receptacle on the north wall
2. The GFCI receptacle on the exterior by the patio door is defective
3. The inspector noticed hot and neutral reversed receptacles scattered through out the house.

Having a licensed electrician evaluate and repair these items is recommended.



13.3 Item 12(Picture) There is no power at the exterior receptacle on the north wall



13.3 Item 13(Picture) The GFCI receptacle on the exterior by the patio door is defective



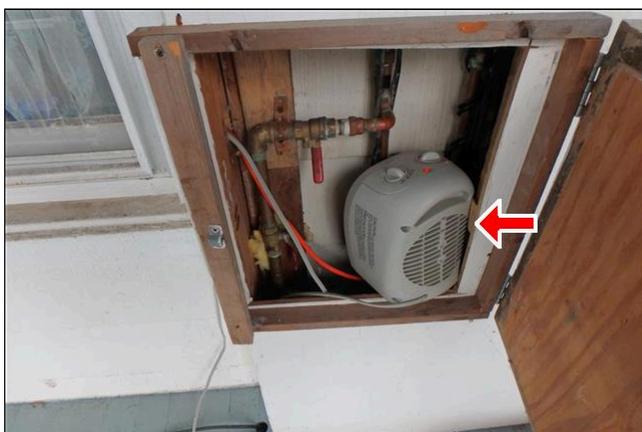
13.3 Item 14(Picture) The inspector noticed hot and neutral reversed receptacles scattered through out the house

(3) Main House

1. There is a electric heater on the exterior to protect the water lines that is a fire hazard. Removing it is recommended
2. There is a romex wire on the north lower roof outside of conduit and not secured
3. There is exposed romex wires outside of conduit and improperly secured scattered through out the main houses exterior
4. There is exposed romex wire on the garage roof
5. The exterior GFCI receptacle is defective to the left of the front entrance and is missing a cover
6. Hot and neutral are reversed rendering the GFCI useless and is missing a cover on the porch
7. The spot light on the porch is not properly secured
8. There is a missing romex connector in the service panel
9. There are painted over outlets scattered throughout that should be replaced
10. There are ungrounded receptacles in the kitchen

Having a licensed electrician evaluate and repair these items is recommended.

Replacing fan switches with minute timers helps reduce the amount of moisture in a bathroom and is recommended.



13.3 Item 15(Picture) There is a electric heater on the exterior to protect the water lines that is a fire hazard



13.3 Item 16(Picture) There is a romex wire on the north lower roof outside of conduit and not secured



13.3 Item 17(Picture) There is exposed romex wires outside of conduit and improperly secured scattered through out the main house



13.3 Item 18(Picture) There is exposed romex wire on the garage roof



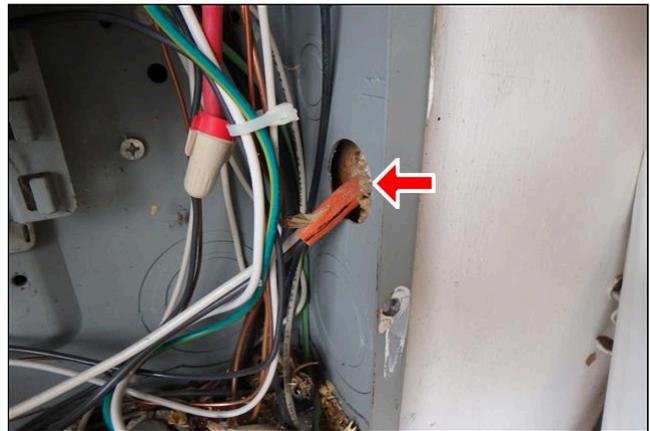
13.3 Item 19(Picture) The exterior GFCI receptacle is defective to the left of the front entrance and is missing a cover



13.3 Item 20(Picture) Hot and neutral are reversed rendering the GFCI useless and is missing a cover on the porch



13.3 Item 21(Picture) The spot light on the porch is not properly secured



13.3 Item 22(Picture) There is a missing romex connector in the service panel



13.3 Item 23(Picture) There are painted over outlets scattered throughout that should be replaced



13.3 Item 24(Picture) There are ungrounded receptacles in the kitchen

**13.4 GFCI's**

**Comments:** Inspected

Current requirements require GFCI outlets to be installed in all bathrooms, kitchens, exterior and garage outlets. Consideration to installing GFCI outlets in these locations should be made.

**13.5 Location of Main and Distribution Panels**

**Comments:** Inspected

Guest house was in the apartment laundry room, Cottage by the laundry room and the main house was the garage

**13.6 Smoke Detectors**

**Comments:** Not Inspected

Currently smoke detectors are required in the main hall, all bedrooms and one on each level. Consideration to installing smoke detectors to today's standard is recommended. More information regarding smoke detectors can be obtained at [www.dos.ny.gov](http://www.dos.ny.gov) website.

**13.7 Carbon Monoxide Detectors**

**Comments:** Not Inspected

The inspector did not see carbon monoxide detectors placed where they should be. All floors where there are bedrooms should have detectors in the hall. There should be detectors on each level of the home where there are fuel combusting appliances. It is recommended that they be installed according to the manufacturer's instructions and local requirements.

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**14. Heating**

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

**Styles & Materials**

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<b>Heat Type:</b>	<b>Heat System Brand:</b>
Baseboard	BURNHAM
Gas Boiler	Navien
Gas Forced	Date of Manufacture : Navien 2012 guest house, Williams Cottage MFD Unknown, Main House Burnham MFD 11/
Air	2009
Radiator	

**Items**

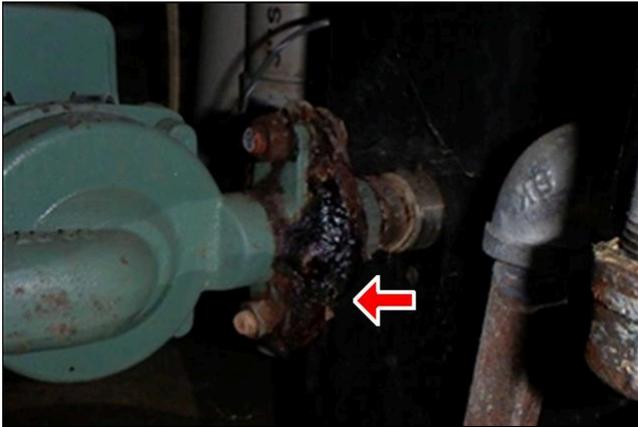
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**14.0 Heating Equipment**

**Comments:** Repair or Replace

## Main House

The circulator gasket is leaking and the TPS valve is also leaking. Having a licensed plumber evaluate and repair as needed is recommended



14.0 Item 1(Picture) Leaking gasket



14.0 Item 2(Picture) leaking TPS valve

**14.1 Normal Operating Controls**

**Comments:** Inspected

**14.2 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)**

**Comments:** Inspected

**14.3 Presence of Installed Heat Source in Each Room**

**Comments:** Repair or Replace

Main House

There was no heat present in the south west 2nd floor bedroom. Having a plumber evaluate and repair as needed is recommended,

**14.4 Chimneys, Flues and Vents**

**Comments:** Repair or Replace

(1) The visual portion of the chimney and flues were inspected. The liners for furnace or fireplaces were not inspected by our company. I recommend a qualified chimney sweep inspect for safety.

(2) Cottage

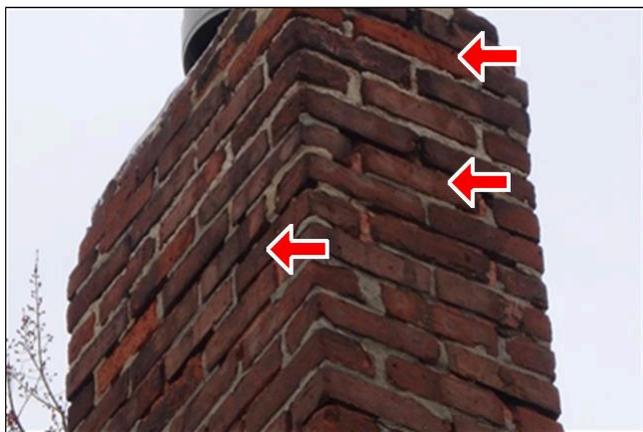
The hot water heater flu is too close to the roof. Having a qualified contractor evaluate and repair as needed is recommended,



14.4 Item 1(Picture) The hot water heater flu is too close to the roof

(3) Main house

The chimney crown is cracked and the mortar/bricks are loose. Contacting a qualified mason is recommended to evaluate and repair the chimney is recommended.



14.4 Item 2(Picture) The chimney crown is cracked and the mortar/bricks are loose.

#### 14.5 Recently Serviced

**Comments:** Repair or Replace

The inspector did not notice a recent service ticket. Heating systems should be evaluated and serviced every year. Contacting a qualified heating mechanic to evaluate and service the unit on an annual basis is recommended.

#### 14.6 Heating System Location

**Comments:** Inspected

(1) The heating system is located in the basement in the main house

(2) The heating system is located in the garage in the guest house.

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The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**15. Insulation and Ventilation**

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

**Styles & Materials**

**Attic Insulation:**

- Batt
- Fiberglass
- Extra Info : 3-9"

**Ventilation:**

- Box vent
- Gable vents
- Soffit Vents

**Dryer Power Source:**

- Gas Connection

**Dryer Vent:**

- Flexible Metal

**Floor System Insulation:**

- Batts
- Fiberglass

**Items**

**15.0 Insulation in Attic**

**Comments:** Repair or Replace

Guest house

The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house. Reversing the insulation is recommended.



15.0 Item 1(Picture) The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house

**15.1 Insulation Under Floor System**

**Comments:** Repair or Replace

## Guest House

The floor of the office is not insulated or protected from weather or infestation. Heat loss can occur more on this home than one that is properly insulated.



15.1 Item 1(Picture) The floor of the office is not insulated or protected from weather or infestation

### 15.2 Vapor Retarders (in Crawlspace or basement)

**Comments:** Repair or Replace

The vapor barrier (plastic) on the crawlspace ground is missing. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified person should repair or replace as needed.

### 15.3 Ventilation of Attic and Foundation Areas

**Comments:** Inspected

### 15.4 Venting Systems (Kitchens, Baths and Laundry)

**Comments:** Repair or Replace

It is recommended to clean all of the dryer vent duct work prior to use. This should be done on a regular basis to prevent fires from starting in the ductwork.

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The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 16. Basememnt

### Items

#### 16.0 Water infiltration

**Comments:** Not Present

#### 16.1 Living space

**Comments:** Repair or Replace

The inspector does not do a mold inspection as part of the home inspection but did noticed growth on the wall by the patio door in the cottage. Some molds have been known to be a health hazard. Contacting a qualified contractor to evaluate the growth is recommended.

More information can be found at the NYS Dept.of State <http://www.health.ny.gov/publications/7287/>

## 17. Crawl space

## Items

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### 17.0 Access

**Comments:** Inspected

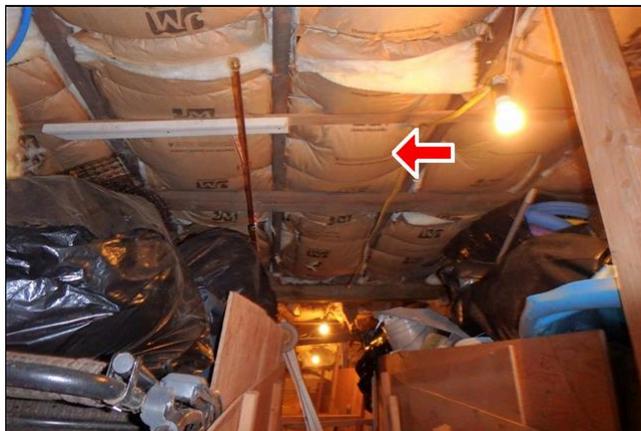
Some crawlspaces were inaccessible and not inspected.

### 17.1 Insulation

**Comments:** Repair or Replace

Main House

1. The floor system is not insulated under the first floor bath on the north side. Heat loss can occur more on this home than one that is properly insulated.
2. The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house. Reversing the insulation is recommended.



17.1 Item 1(Picture) The insulation was installed backwards with the vapor barrier facing away from the heated sections of the house

### 17.2 Moisture

**Comments:** Inspected

### 17.3 Structure

**Comments:** Inspected

See section 11

### 17.4 Earth to wood contact

**Comments:** Repair or Replace

The soil to framing clearance is not satisfactory. The inspector recommends 18 inches. Creating this clearance to prevent insect infestation, moisture damage and for inspection is recommended.

## 18. Appliances

## Styles & Materials

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**Fuel:**

Gas Dryer

## Items

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### 18.0 Washing Machine

**Comments:** Not Inspected

### 18.1 Dryer

**Comments:** Not Inspected

## 19. Appliances

**Items**

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